

Hull Building



14 Wall Street
Madison, Connecticut 06443

Mitigation Documentation

February 2019

Prepared for
E. C. Scranton Memorial Library
801 Boston Post Road
Madison, CT 06443



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Statement of Purpose

This documentation study has been produced to provide a written and photographic record that follows the *Documentation Standards for Connecticut's Cultural Resources* of the former Hull Building at 14 Wall Street, Madison, Connecticut 06443. It is part of the mitigation required by a Memorandum of Understanding between the Connecticut State Historic Preservation Office and the E. C. Scranton Memorial Library, Inc., for the demolition of this building (Appendix 1). This building and one accessory building, which are not considered historic, on the property are being demolished in order to expand the E. C. Scranton Memorial Library.

Site Description



Figure 1. Location of Hull Building at 14 Wall Street. (Google Earth)

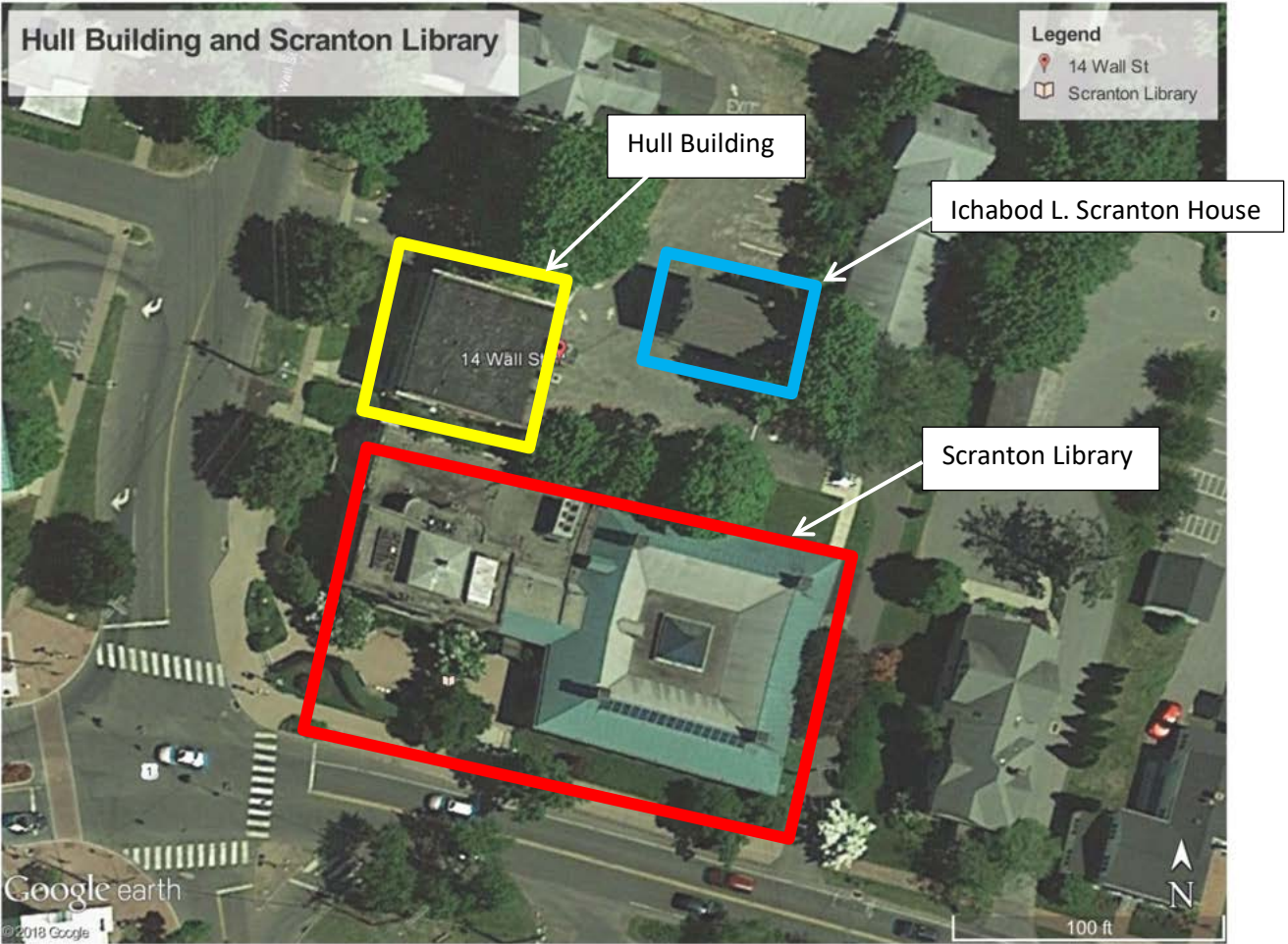


Figure 2. Aerial photograph showing locations of Hull building, Ichabod L. Scranton House and E. C. Scranton Memorial Library. (Google Earth)

The Hull building occupies a .031 acre urban site on Wall Street, .03 miles from its intersection with the Boston Post Road and directly north of the E. C. Scranton Memorial Library (Figure 1, Photo 1). It is set back 44 feet from the street and there is a curved paved area, a lawn planted with a mature deciduous tree, a sidewalk and a snow strip in front of the building to the west. A wide concrete sidewalk leads from the sidewalk to the main entrance (Photos 2 and 3). There is a narrow grassy strip on the north side of the building with a mature evergreen shrub at its west end that separates it from a wide, asphalt-paved driveway. There is an asphalt-paved parking lot to the east of the building with a two story wood frame building, the Ichabod L. Scranton House, also known as The Old Post Office, at its northeast corner (figure 2, Photo4). A grassy strip planted with evergreen shrubs separates the south elevation of the building from the Scranton Library lot. There is a two story wood frame residence to the north of the building and a masonry US Post Office building with its parking lot across Wall Street to the west (Figure 1, Photo 5).

Architectural Description

Exterior

The Hull building is a square 7, 640 square foot, two story, brick Colonial Revival style building. It faces west onto Wall Street and has a flat roof. The brick is laid in common bond and it has a five bay façade with a slightly projecting center bay. A cast stone water table spans the base of the façade and the main entrance is centered in the center bay. It is framed by a cast stone surround with flat pilasters supporting a split pediment, elaborated with dentils and an urn on a pedestal. The entrance is flanked by wide storefront windows surmounted by bands of leaded decorative glass. There is a cast stone belt course above the windows on each wing and another cast stone belt course above it spans the entire façade. There is a single wood one-over-one double hung window in a cast stone casing centered on the second story of the center bay. Each wing has two evenly spaced wood one-over-one double hung windows which sit directly above the belt course. A cast stone projecting cornice spans the width of the façade above these windows and it serves to visually separate the parapet above it from the rest of the façade. The parapet has a flat cast stone cap (Photos 3 and 7).

The north elevation sits on an exposed concrete foundation with three evenly spaced light wells. There is a tall storefront window surmounted by a band of leaded Carrara glass on the western edge of the first floor that continues the similar window on the façade. There is a row of three small rectangular, two-light wood-framed hopper windows with brick lintels and cast stone sills set high on the first story wall to the east of the storefront window. Two evenly spaced six-over-one double hung wood windows with brick lintels and cast stone sills are to the east of this row of windows. The upper belt course from the façade continues on this elevation to form the sill of a wood one-over-one double hung window with a brick lintel. There is a row of five six-over-one double hung wood windows with brick lintels and cast stone sills to the east of this window. The projecting cornice from the façade continues onto this elevation and the cornice has glazed ceramic coping (Photo 8).

There is a square two story brick tower that rises above the roof and is offset one bay to the north of the center of the east elevation and an exposed, square brick chimney of similar height to the south of the tower. There is an entrance with a wooden door in a wooden frame at the base of the tower and a six-over-one double hung wood window with a brick lintel and cast stone sill centered on the second story. The tower and chimney divide this elevation into three sections. The north section has an entrance with a wood-framed doorway surmounted by a transom to the north of the tower and there is a six-over-one double hung wood window with a brick lintel and cast stone sill to the north of this entrance. The entryway is protected by a shed canopy attached to the tower on its north elevation. The canopy is covered in asphalt shingles and supported by a single wood column on its northeast corner. There are two evenly

spaced six-over-one double hung wood windows with brick lintels and cast stone sills on the second story of this section. Approximately one foot of the overhanging cornice wraps around to this section of the elevation and there is no parapet. There are single six-over-one double hung wood windows with brick lintels and cast stone sills on the first and second stories in the section between the tower and the chimney. There is an entrance with a wood-framed doorway surmounted by a transom centered in the section south of the chimney. It is flanked by single six-over-one double hung wood windows with brick lintels and cast stone sills. There is a row of three evenly spaced six-over-one double hung wood windows with brick lintels and cast stone sills on the second story. Approximately one foot of the projecting cornice wraps around to this section of the elevation and there is no parapet (Photo 9).

The south elevation has a row of six six-over-one double hung wood windows with brick lintels and cast stone sills with varying spacing. The two belt courses from the façade wrap around to approximately one quarter of the length of this elevation. The projecting cornice from the façade continues onto this elevation and the cornice has glazed ceramic coping (Photo 10).

Interior

The building is entered through a doorway centered in the façade. It leads to a vestibule with entrances to retail spaces on its north and south sides, as well as a stairway to the east that leads to the second floor. The north retail space has an office at its east end that spans the full width of the space and has a doorway to the exterior. The floors are covered in wall-to-wall carpeting and the lower sections of the walls are covered in Slatwall panels. The room retains its pressed metal crown moldings, ceiling and radiators. There are storage spaces under the stairs between the retail spaces and there is a stairway to the basement to the east of the storage spaces (Photos 11-14). The south retail space is almost entirely open and it also has a doorway to the exterior on its east end. It has an original wood floor, sheetrock walls and a drop ceiling. There are two toilets in the center of the east end of the first floor and they are accessible from both retail spaces.

The second floor is reached by a staircase from the first floor vestibule and it leads to central corridor with entrances to offices on its north and south sides (Photos 17 and 18). The north office is open space with an original wood floor, painted wood panel walls and a drop ceiling (Photos 19 and 20). The south office has been subdivided into smaller spaces. It has an original wood floor, sheetrock walls and a drop ceiling (Photos 21 and 22).

Significance

The Hull building was constructed in 1927 and opened in 1928 on a site previously occupied by the Ichabod L. Scranton House, c.1868 (Photo 23). The Hull businesses were first in the house prior to the construction of their new building and it is identified as an office on the Sanborn map. Two sheets of the 1925 Sanborn Insurance map of Madison dated April 1925 show the site. In the first, the older building is in its original location on the west side of the lot (Figure 3). On the second, which, was revised in November 1941 and attached on June 9, 1945, it has been moved to its current location on the east side of the lot to allow space for the new building (Figure 5). The new building then served as the offices of J. Myron Hull's real estate and insurance businesses, as well as Leland E. Hull's hardware store and electrical contracting business. The older building was used for storage (Figure 5 and 6).

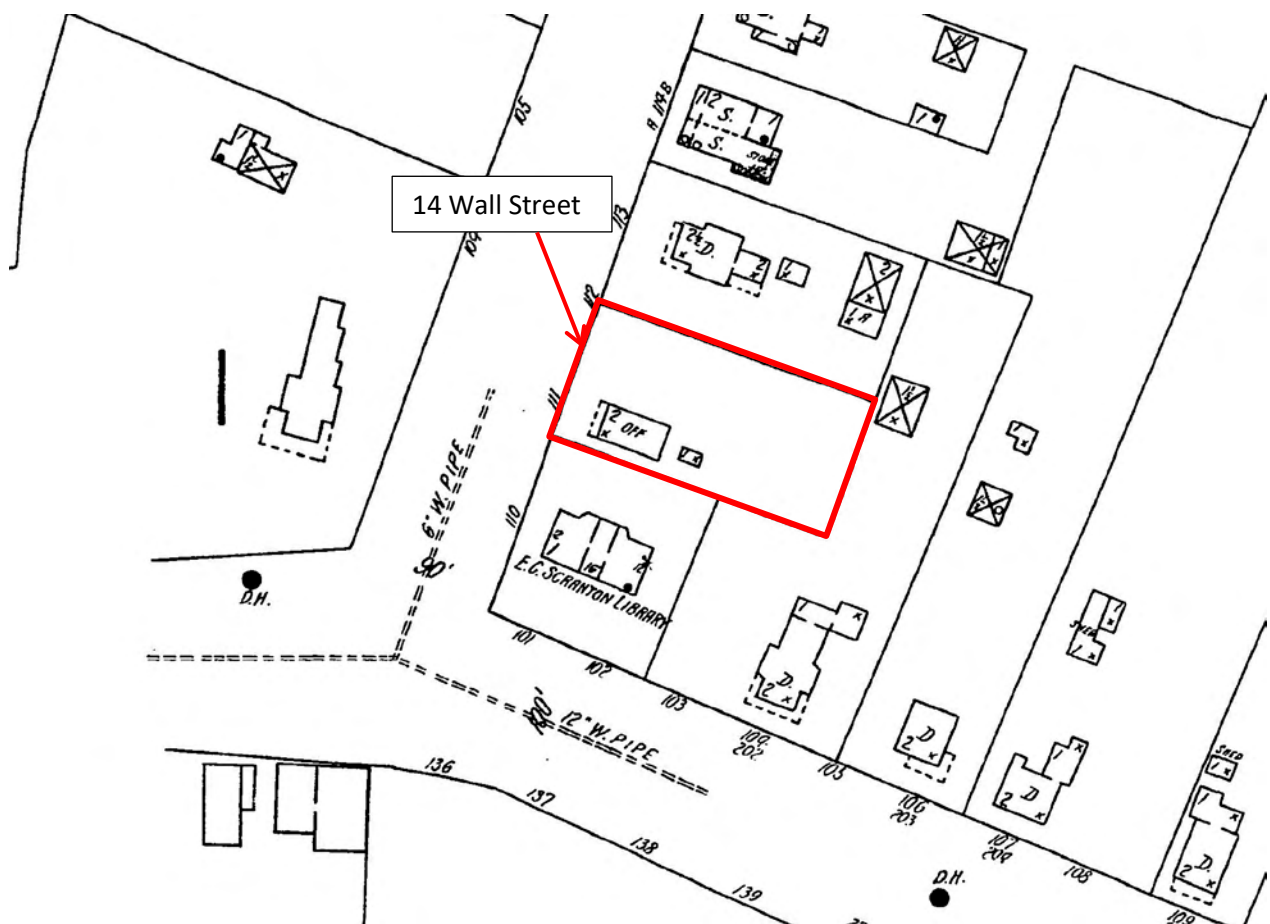


Figure 3. Detail of Sanborn insurance map dated April 1925 showing only Ichabod L. Scranton House, then used as offices by J. Myron Hull, at present day 14 Wall Street. (Sanborn Map Company)



Figure 4. Façade of first hull building c.1920. (Charlotte L. Evarts Memorial Archive)



Figure 5. Detail of Sanborn insurance map dated April 1925, but revised in November 1941 showing new Hull Building and Ichabod L. Scranton House moved to the east side of the lot at present day 14 Wall Street. (Sanborn Map Company)



Figure 6. Photograph of J. Myron Hull, Leland Hull and William S. Hull in front of their new building in 1928. (Charlotte L. Evarts Memorial Archive)

The Hull Family

The Hull family had a long history as prominent citizens of Madison. They contributed to the growth of the town in the real estate business, as postmasters and as civic leaders. The Old Post Office served as their first office and the Hull Building, designed to complement the E. C. Scranton Memorial Library to its south, was the expression of their continued commitment to Madison.

James Myron Hull (1850-1937)

Madison's rise as a summer destination started in the late 1870s when Silas Chapman from Waterbury bought the Barberry farm east of today's Waterbury Avenue. The farm included waterfront property around today's Point Road Beach and he soon began to sell land to his friends for summer houses – so many that the street was eventually named for their home city. The potential for business in the influx of summer people was not lost on J. Myron Hull, who remembered their carriages and wagons arriving at the beginning of the season. He decided to profit from it by starting an informal real estate business in 1887, the same year that

he was appointed Madison's Postmaster. In 1889, he opened Madison's first real estate and insurance agency. He served as postmaster for only a short time and his real estate business did not flourish. However, an economic depression in 1892 motivated several German families to move from New York to Madison. Myron, as he was known, sold many of them farms and was able to raise enough capital to build his business. He and his father, William Seward Hull (1812-1890), began to build and sell houses at about this time. Their insistence on high quality materials and workmanship paid off when they were able to sell the homes for \$5,000, at a time when similar house could be built for about half that price. Myron continued in the real estate business after his father's death, by acting as an agent in the sale and rental of lots and houses on the Chapman property. He also served as Madison's Postmaster again from 1893 to 1897. There was no permanent post office in town at that time and postmasters were political appointees. They were usually replaced as Presidential administrations changed and they conducted post office business from their homes or offices. J. Myron Hull used his office in his Wall Street building, now known as the Old Post Office. He served as acting Postmaster from September 1917 to May 1918 in the Monroe Block, which had become the permanent U.S. Post Office by that time.

Development for summer residents began to increase in Madison after 1915. Myron had anticipated this trend by buying lots on the former Seaview Farm in 1912. He started selling them as the demand increased and became one of the most successful businessmen in Madison. He developed a set of rules for his business that kept him at the high end of the market:

1. He screened potential buyers and renters for compatibility with existing owners.
2. He included deed restrictions that guaranteed beach access to every owner, including those on inland lots
3. Lots had to have at least seventy feet of street frontage
4. All houses had to be two and one half stories high
5. Homes could only be single family residences.

These provisions separated him from those at the lower end of the market who built and rented the cheap one story bungalows that were popular in Shoreline towns in that era (Figure 7). He continued to run his real estate and insurance businesses until his death in Madison in 1937 at the age of 87.



Figure 7. J. Myron Hull with his billboard c.1920. (Charlotte L. Evarts Memorial Archive)

Leland Elmer Hull (1895-1986)

J. Myron Hull's sons followed him in business but not in real estate development. Leland Elmer Hull found his calling in the army. He enlisted at the age of 22 in 1917 at the beginning of US involvement in World War I. He was assigned to the Signal Corps and trained in telephone communications. He returned to Madison with a new sense of confidence and an affinity for technology (Figure 8).



Figure 8. Private First Class Leland E. Hull in 1919. (Madison Historical Society)

Leland's first job back home was as a projectionist at the Madison Airdome, an open air movie theater near the center of town, until it was sold in 1921. He then started an electrical business on Wall Street in the building he would share with his father. He sold radios, appliances, generators, boats, electrical supplies and hardware in the original wooden building, as well as its larger brick replacement (Figures 6 and 9). Leland was also active in the community where he was a Notary Public for years and served as town Selectman in 1957. He died in Madison, where he had spent his entire life other than military service, at the age of 90 in 1986.



Figure 10. Advertising item for Leland E. Hull's store c.1920. (Madison Historical Society)

William Seward Hull (1876-1960)

William Seward Hull was named for J. Myron Hull's father. He was born in Madison and it didn't take long for him to be included in one of the family's businesses. At the age of twelve in 1888, he was appointed a regular clerk in his father's Post office. The elder Hull found that, as the only employee of the Madison Post Office, he could not lock the door and go home for lunch. His solution to the problem was to employ his son so there would be someone in the office at lunchtime. When his father had to resign because of a change of administration in Washington, the man appointed as new postmaster had no knowledge of how to run the office, so he kept William S. Hull in his clerk's job to run it for him. William used his postal experience to secure a permanent appointment with the Railroad Mail Service, but soon found it was not for him.

William eventually worked in advertising for the International Silver Company in Meriden and at Good Housekeeping magazine. He continued his father's business on Wall Street by becoming a real estate appraiser, a career at which he excelled. He was also very active in the community. He was Chairman of the Board of First Federal Savings and Loan, an organizer of Madison Trust in 1923, a charter member of Rotary International and a Deacon of the First Congregational Church. He served for seventeen years on the Madison Board of Education and was a member of the Madison Masonic Lodge Number 87 for over sixty years.

William was also a musician. He was a drummer in the famous Chester fife and Drum Corps for many years and the Madison Fife and Drum Corps from 1884 to 1882 and played alto horn in the Madison Concert Band in 1892. He died in Madison in 1960 at the age of 84.

Architecture

The Hull building is a very well executed, small Colonial Revival commercial building. Its design is in the mainstream of American architecture at the time and it serves the purpose of providing a modern permanent home for the Hull businesses. The Colonial Revival style began to develop at the end of the nineteenth century. The style was first popularized by the New York City architectural firm of McKim, Mead and White and was used by them in the design of many large and elaborate homes for the wealthy, as well as civic and commercial buildings. They used elements of American Colonial houses in New England, such as gambrel roofs, fanlights, Palladian windows and elaborate doorway moldings to create new designs that were intended to evoke our country's beginnings. By the second decade of the twentieth century, it had become the dominant style for many commercial buildings, such as the Hull Building. Many variants of the Colonial Revival style and the closely related Neo-Classical Revival style may be found in Madison. The most impressive building in this style is the Neo-Classical style E. C. Scranton Memorial Library (1899) just to the south of the Hull Building. The library was designed by renowned architect Henry Bacon, who also designed the Lincoln Memorial in Washington DC. On the façade of the original section of the library, limestone quoins frame the facade and end elevations, which display continuous limestone cornices and belt courses. It has a three-bay façade with a two-stage, projecting pavilion faced with stone (Photo 1). An addition was built on the east elevation of the library in 1989 and only the original block would have stood in the site in 1925. The Hull building was designed to complement the library by referencing some of its major design elements, including a projecting façade, elaborated entrance and contrasting belt courses.

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accessed February 12, 2019.

List of Photographs

Photographer: Bob Gundersen

Dates taken: September and October 2018

Photo 1. View north showing facade of Hull Building and E. C. Scranton Memorial Library at the intersection of Wall Street and Boston Post Road.

Photo 2. View south showing north elevation and facade of Hull building.

Photo 3. View east showing facade of the Hull Building, paved areas and lawn.

Photo 4. View southeast showing Old Post Office to the east of the Hull Building, driveway and north elevation and facade of the Hull Building.

Photo 5. View southwest showing residence to the north of the Hull Building, north and east elevations of the Hull Building and parking lot.

Photo 6. View east showing main entrance.

Photo 7. View south showing north elevation.

Photo 8. View southwest showing east and north elevations.

Photo 9. View southwest showing facade and part of south elevation.

Photo 10. Interior view west showing western section of north retail space.

Photo 11. Interior view east showing eastern section of north retail space.

Photo 12. Interior view southeast showing crown molding on south eastern section of north retail space.

Photo 13. Interior view east showing stamped metal crown moldings, ceiling and radiator in north retail space.

Photo 14. Interior view east showing south retail space.

Photo 15. Interior view west showing south retail space.

Photo 16. Interior view south showing door to exterior from north retail space and corridor on the east side of the first floor that connects the retail spaces.

Photo 17. Interior view east showing staircase to second floor.

Photo 18. Interior view northwest showing second floor corridor.

Photo 19. Interior view southwest showing west end of north office on second floor.

Photo 20. Interior view southeast showing east end of north office on second floor.

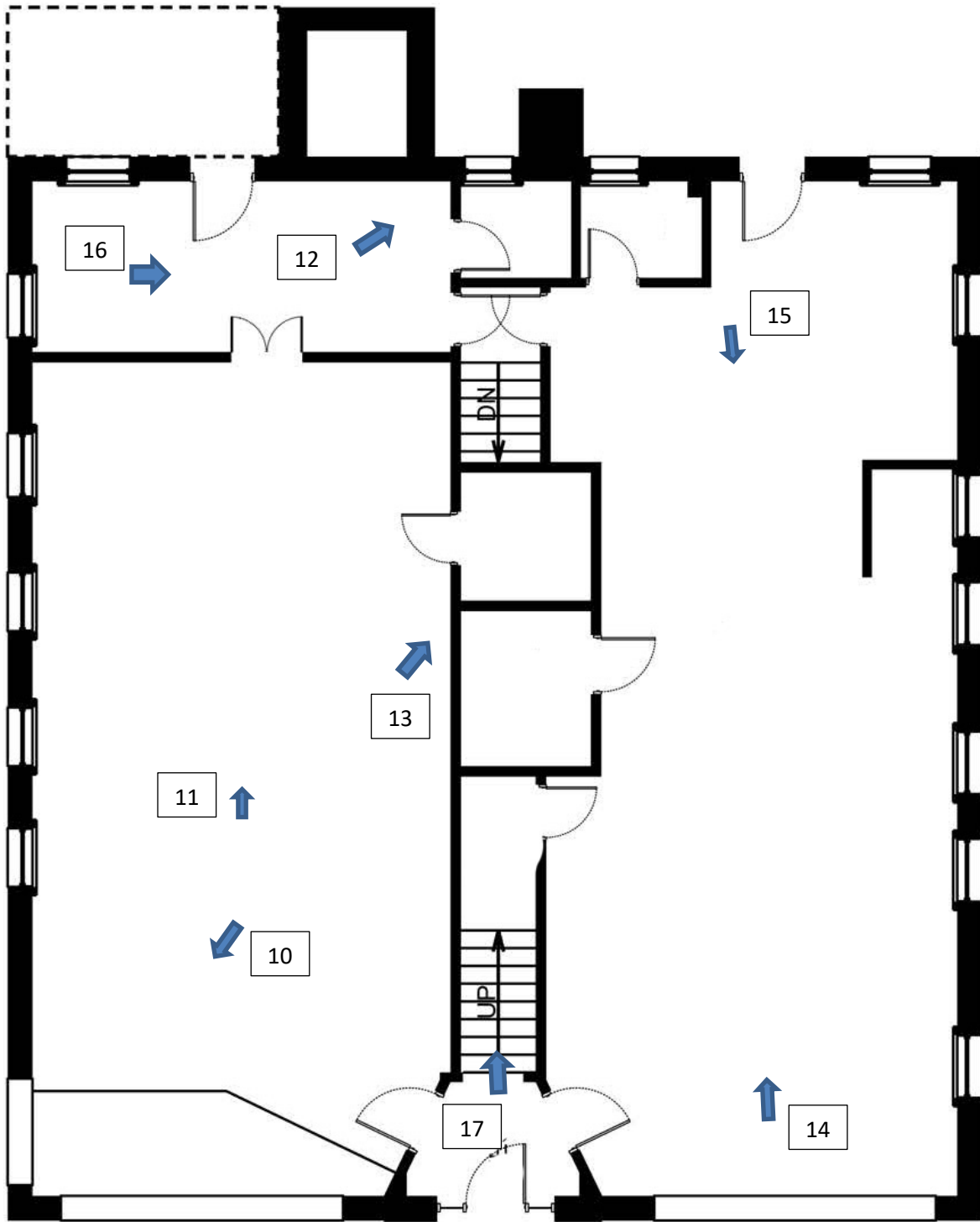
Photo 21. Interior view northeast showing center section of south office on second floor.

Photo 22. Interior view south east showing east end of south office on second floor.

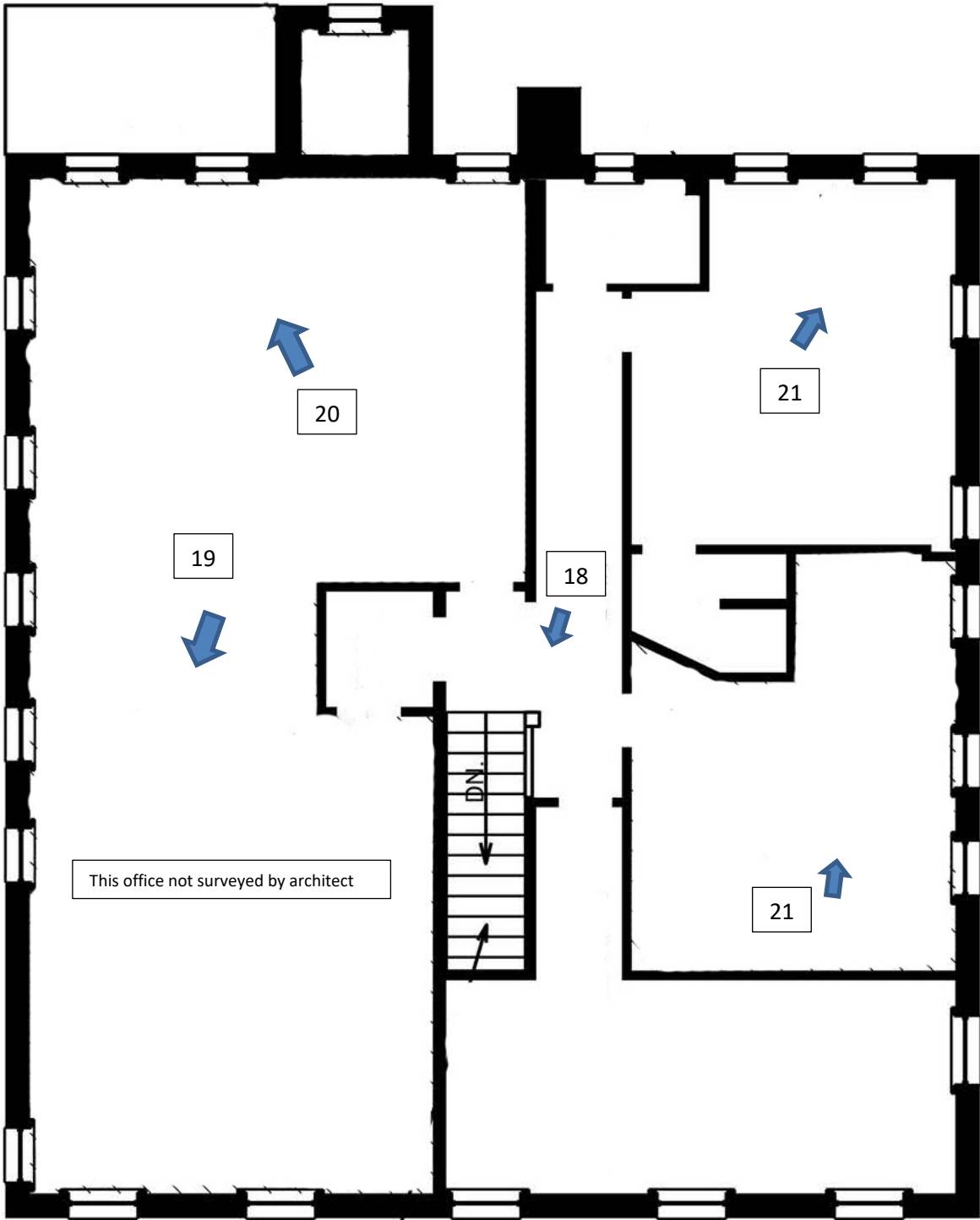
Photo 23. View east showing facade of Ichabod L. Scranton House, also known as the Old Post Office.



Figure 7. Exterior Photo Key



First Floor Photo Key



Second Floor Photo Key



Photo 1. View north showing facade of Hull Building and E. C. Scranton Memorial Library at the intersection of Wall Street and Boston Post Road.



Photo 2. View south showing north elevation and facade of Hull building.



Photo 3. View east showing facade of the Hull Building, paved areas and lawn.



Photo 4. View southeast showing Old Post Office to the east of the Hull Building, driveway and north elevation and facade of the Hull Building.



Photo 5. View southwest showing residence to the north of the Hull Building, north and east elevations



Photo 6. View east showing main entrance.



Photo 7. View south showing north elevation.



Photo 8. View southwest showing east and north elevations.



Photo 9. View southwest showing facade and part of south elevation.



Photo 10. Interior view west showing western section of north retail space.



Photo 11. Interior view east showing eastern section of north retail space.



Photo 12. Interior view southeast showing crown molding on south eastern section of north retail space.



Photo 13. Interior view southeast showing stamped metal crown moldings, ceiling and radiator in north retail space.



Photo 14. Interior view east showing south retail space.



Photo 15. Interior view west showing south retail space.



Photo 16. Interior view south showing door to exterior from north retail space and corridor on the east side of the first floor that connects the retail spaces.



Photo 17. Interior view east showing staircase to second floor.



Photo 18. Interior view northwest showing second floor corridor.



Photo 19. Interior view southwest showing west end of north office on second floor.



Photo 20. Interior view southeast showing east end of south office on second floor.



Photo 21. Interior view northeast showing center section of south office on second floor.



Photo 22. Interior view south east showing east end of south office on second floor.



Photo 23. View east showing facade of Ichabod L. Scranton House, also known as the Old Post Office.

Appendix

MEMORANDUM OF UNDERSTANDING (MOU)

Between the E.C. SCRANTON MEMORIAL LIBRARY, INC. and
The Connecticut State Historic Preservation Office;
Regarding the demolition of building at 14-18 Wall Street, Madison (UNDERTAKING)

WHEREAS, the E.C. SCRANTON MEMORIAL LIBRARY, INC. proposes demolition of the structure at 14-18 Wall Street, Madison, aka the Hull Building; and

WHEREAS, the E.C. SCRANTON MEMORIAL LIBRARY, INC. has determined that this undertaking requires review under Connecticut Environmental Policy Act (CEPA) and has determined the undertaking's area of potential effect (APE) to be the Scranton Memorial Library State Historic District; and

WHEREAS, the undertaking entails complete demolition of the structure at 14-18 Wall Street, Madison; and

WHEREAS, the SHPO has found that the undertaking will result in an adverse effect to the historic property due to demolition of the above building(s); and

WHEREAS, in accordance with CEPA, the E.C. SCRANTON MEMORIAL LIBRARY, INC. has consulted with SHPO to resolve the adverse effect and determined that there are no reasonable alternatives that would avoid or minimize the adverse effect of demolition of the above building.

NOW, THEREFORE, the E.C. SCRANTON MEMORIAL LIBRARY, INC. and the SHPO agree that the undertaking will be carried out in accordance with the following stipulations to take into account its effect on historic properties:

STIPULATIONS

1. MITIGATION

- a. E.C. SCRANTON MEMORIAL LIBRARY, INC. shall document the structure located at 14-18 Wall Street, Madison. Documentation shall meet the state-level standards of SHPO and, at a minimum, include indexed high-quality photographs, a site plan, and narrative text. Final documentation shall be provided to SHPO for permanent archiving and public accessibility. A copy is also to be made available to the Charlotte L. Everts Memorial Archives.

Memorandum of Understanding DRAFT Page 1

- b. The Library shall retain the services of a historic preservation consultant with experience in conducting cultural resource surveys to research, document and compile a survey of the downtown Madison commercial center of Madison. The survey shall be completed within 12 months following the signing of the MOU. Two bound copies, as well as a digital file, will be submitted to SHPO following completion of the survey. A copy shall also be held by the Library and made available to the public.
- c. The Library shall make a donation in the amount of \$10,000 to the Madison Historical Society's Preservation Fund. The donation shall be within three months of the signing of the MOU.
- d. The Library shall host and sponsor 4-6 preservation-focused programs over a period of 18 months from the signing of the MOU. The Library will source, invite and compensate speakers, as well as publicize the events widely. Compensation for speakers shall be commensurate, with the exception of public officials/employees.

2. DURATION

This Memorandum of Understanding will expire if its terms are not carried out within five (5) years from the date of its execution. Prior to such time, SHPO or E.C. SCRANTON MEMORIAL LIBRARY, INC. may consult with the other signatories to reconsider the terms of the MOU and amend it in accordance with Stipulation 5 below.

3. MONITORING AND REPORTING

Each year following the execution of this MOU until it expires or is terminated, E.C. SCRANTON MEMORIAL LIBRARY, INC. shall provide all parties to this MOU a summary report detailing work undertaken pursuant to its terms. Such report shall include any scheduling changes proposed, any problems encountered, and any disputes and objections received in E.C. SCRANTON MEMORIAL LIBRARY, INC.'s efforts to carry out the terms of this MOU. An informal email will suffice.

4. DISPUTE RESOLUTION

- a. Should any signatory or concurring party to this MOU object at any time to any actions proposed or the manner in which the terms of this MOU are implemented, E.C. SCRANTON MEMORIAL LIBRARY, INC. shall consult with such party to resolve the objection. If E.C. SCRANTON MEMORIAL LIBRARY, INC. determines that such objection cannot be resolved, E.C. SCRANTON MEMORIAL LIBRARY, INC. will:

- b. Forward all documentation relevant to the dispute, including the E.C. SCRANTON MEMORIAL LIBRARY, INC.'s proposed resolution to SHPO. SHPO shall provide E.C. SCRANTON MEMORIAL LIBRARY, INC. with its advice on the resolution of the objection within thirty (30) days of receiving adequate documentation. Prior to reaching a final decision on the dispute, SHPO shall prepare a written response that takes into account any timely advice or comments regarding the dispute from SHPO, signatories and concurring parties, and provide them with a copy of this written response. E.C. SCRANTON MEMORIAL LIBRARY, INC. will then proceed according to its final decision.
- c. If SHPO does not provide its advice regarding the dispute within the thirty (30) day time period, E.C. SCRANTON MEMORIAL LIBRARY, INC. may make a final decision on the dispute and proceed accordingly. Prior to reaching such a final decision, E.C. SCRANTON MEMORIAL LIBRARY, INC. shall prepare a written response that takes into account any timely comments regarding the dispute from the signatories and concurring parties to the MOU and provide them and SHPO with a copy of such written response.
- d. The parties deem the MOU to have been made in the town of Madison, State of Connecticut. Both parties agree that it is fair and reasonable for the validity and construction of the MOU to be, and it shall be, governed by the laws and court decisions of the State of Connecticut, without giving effect to its principles of conflicts of laws. Any complaint brought by a party to this MOU challenging any final decision by the other party to this MOU shall be made returnable to the Judicial District of New Haven only or shall be brought in the United States District Court for the District of Connecticut only, and shall not be transferred to any other court. E.C. SCRANTON MEMORIAL LIBRARY, INC. and SHPO each waives any objection which it may now have or will have to the laying of venue of any claims in any forum and further irrevocably submits to such jurisdiction in any suit, action or proceeding.
- e. It is E.C. SCRANTON MEMORIAL LIBRARY, INC.'s responsibility to carry out all other actions subject to the terms of this MOU that are not the subject of the dispute remain unchanged.

5. AMENDMENTS

This MOU may be amended when such an amendment is agreed to in writing by all signatories. The amendment will be effective on the date a copy signed by all of the signatories is filed with SHPO.

6. TERMINATION

If any signatory to this MOU determines that its terms will not or cannot be carried out, that party shall immediately consult with the other parties to attempt to develop an amendment per Stipulation 5, above. If within thirty (30) days (or another time period agreed to by all signatories) an amendment cannot be reached, any signatory may terminate the MOU upon written notification to the other signatories. Upon such termination, the parties will be returned to their respective positions had this MOU not been executed.

SIGNATORIES:

E.C. SCRANTON MEMORIAL LIBRARY, INC.

By: Elizabeth Byrne, President Date: 10-22-18
NAME, TITLE

Connecticut State Historic Preservation Officer

By: Catherine Labadia Date: 11/16/18
Catherine Labadia, Deputy State Historic Preservation Officer